



# Memorandum

**Planning Division**  
**Community & Economic Development Department**

To: Salt Lake City Planning Commission

From: Michael Maloy, AICP, Principal Planner

Date: September 20, 2012

CC: Frank Gray, Community & Economic Development Director  
Wilf Sommerkorn, Planning Division Director  
Cheri Coffey, AICP, Planning Division Assistant Director  
Nick Norris, AICP, Planning Manager  
DJ Baxter, Redevelopment Agency Director

Re: PLNPCM2011-00640 Issues Only Hearing on Form Based Code for West Temple Gateway

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**Summary.** Under the direction of Mayor Ralph Becker, the Salt Lake City Planning Division is processing Petition PLNPCM2011-00640 to amend the Salt Lake City Zoning Ordinance and Map for properties located within the West Temple Gateway Redevelopment Agency Project Area (see Attachment A – Petition Initiation Request). The purpose of the amendment is to introduce zoning that is compatible with the Central Community Master Plan (published 2005) and reflective of recommendations found within the West Temple Gateway & Granary District Redevelopment Strategy report (published 2011).

**Form Based Codes.** In response to adopted City policies, direction from the Salt Lake City Redevelopment Agency (RDA), and concerns from property owners and residents of the West Temple Gateway neighborhood, the Planning Division has drafted a new “form based code” known as FB-UN Urban Neighborhood Zoning District for portions of the West Temple Gateway neighborhood (see Attachment B – Summary of Proposal).

A form based code is a means of regulating development to achieve a specific urban form. Form based codes create a predictable public realm by controlling physical form primarily, with a lesser focus on land use, through zoning regulations. Form-based codes are a relatively new response to the modern challenges of urban sprawl, deterioration of historic neighborhoods, and neglect of pedestrian safety in new development. During the latter half of the 20<sup>th</sup> century, traditional neighborhood design and mixed use development declined as a development pattern, and widespread adoption of single-use zoning regulations discouraged compact, walkable urbanism. Ultimately, form-based codes are intended to address these deficiencies and provide Salt Lake City with the regulatory means to achieve development objectives with greater certainty.

**West Temple Gateway Objectives.** The following are key objectives being addressed within the proposal (see Attachment C – Draft Zoning Text and Attachment D – Draft Zoning Map):

- Improve neighborhood vitality and viability.
- Allow for more flexibility with regard to use.
- Encourage a higher quality building design.
- Encourage more active sidewalks.
- Improve pedestrian safety.
- Improve sidewalk and street facing building relationship and interaction.
- Provide healthier pedestrian spaces in or adjacent to the public right-of-way.
- Support a mix of commercial and residential development.
- Strengthen the character of single-family home clusters on Montrose, Jefferson, and Washington Streets.
- Focus taller buildings and higher densities along major arterials and commercial corridors and away from single family home clusters.
- Discourage auto-oriented site planning and building design.
- Encourage transit-oriented site planning and building design.

**Public Process.** The Planning Division, in partnership with RDA staff, conducted a series of “Open House” meetings to discuss the proposal. Property owners and residents impacted by the proposal were invited to attend public meetings held on June 26, June 28, July 31, and August 1, 2012. To better solicit community input, the meetings were held within the neighborhood at the Axis Apartments (see Attachment E – Public Comments).

In addition to the Open House meetings, the proposed zoning amendment was introduced at the Ballpark Community Council on July 5, 2012.

**Public Notice.** In preparation for the September 26, 2012 Planning Commission public hearing, staff complied with State and local regulations and provided the following public notices:

- Public hearing notice posted in newspaper on September 14, 2012
- Public hearing notice mailed on September 14, 2012
- Public hearing notice posted on City and State websites on September 14, 2012
- Public hearing notice emailed to the Planning Division listserve on September 14, 2012

**Attachments.**

- A. Petition Initiation Request
- B. Summary of Proposal
- C. Draft Zoning Text
- D. Draft Zoning Map
- E. Public Comments

**Attachment A**  
**Petition Initiation Request**



# Petition Initiation

SCANNED TO: Mayor  
SCANNED BY: Ractel  
DATE: 10.12.11

# Request

Planning Division  
Community & Economic Development Department



To: Mayor Becker

From: Wilf Sommerkorn, Planning Director

Date: October 12, 2011

CC: Frank Gray, Community & Economic Development Director; Mary De La Mare-Schaefer, Community & Economic Development Department Deputy Director; Cheri Coffey, Assistant Planning Director; Nick Norris, Planning Manager; DJ Baxter, RDA Director, file

Re: Initiate Petition to amend the zoning map in the West Temple Gateway RDA project area.

The Planning Staff is requesting that you initiate a petition to analyze the current zoning map for properties located within the West Temple Gateway Redevelopment Agency Project Area (see attached map). The purpose of the zoning map amendment is to make the zoning consistent with the Central Community Master Plan, further the goals of the RDA project area, and consider the appropriateness of the recently completed "West Temple Gateway Project Area Implementation Guide."

The following zoning districts are currently found within the West Temple Gateway RDA Project Area:

- D2 Central Business District Support
- RMF-75 High Density Multi-Family Residential

The Future Land Use Map found in the Central Community Master Plan designated the area as "Central Business District Support." Although the D-2 zoning district is a downtown support district, there are a number of zoning issues that are not compatible with the goals of the RDA or the changing character of the area as a mixed used neighborhood.

The West Temple Gateway Implementation Strategy recommends that the City make the following changes to the official zoning map:

- Make zoning modifications to encourage compatible and appropriate uses in a mixed use environment;
- Protect existing low to moderate density residential uses;
- Implement appropriate design standards and guidelines.

The Planning Division will do an analysis of the existing zoning districts already adopted by the City to determine if there are existing zoning district that can fulfill the above strategies. This study may result in proposed changes to the text of the zoning ordinance and possibly the Central Community Master Plan. A map of the area is attached.

The West Temple Gateway Implementation Strategy recommends creating zoning overlay districts to the area in order to address incompatible land use issues and to apply applicable design standards and guidelines. This approach would not necessarily require zoning map amendments for properties zoned D-2, but would require the creation of a new zoning overlay district and design guidelines. The findings of the study may result in an amendment to the Transitional Overlay District, which covers portions of the area or text amendments to the base zoning districts for the purpose of adding design standards.

The Planning Division will go through a public process to identify the issues in the West Temple Gateway area, hear the concerns and desires of property owners, residents, and business owners and other stakeholders. The zoning map amendment will go through the legal adoption process, with the Planning Commission making a recommendation to the City Council and the City Council making the final decision

The recently funded RDA planner will be the primary staff resource dedicated to the proposal. This position was funded by the Council for a one year period specifically to implement necessary zoning amendments in the RDA project areas. The RDA has identified the zoning amendments in the West Temple Gateway Project Area as their top priority for the RDA planner.

If you have any questions, please contact me.

Thank you.

***Concurrence to initiating the rezoning petition as noted above.***



**Ralph Becker, Mayor**



**Date**

**Attachment B  
Summary of Proposal**



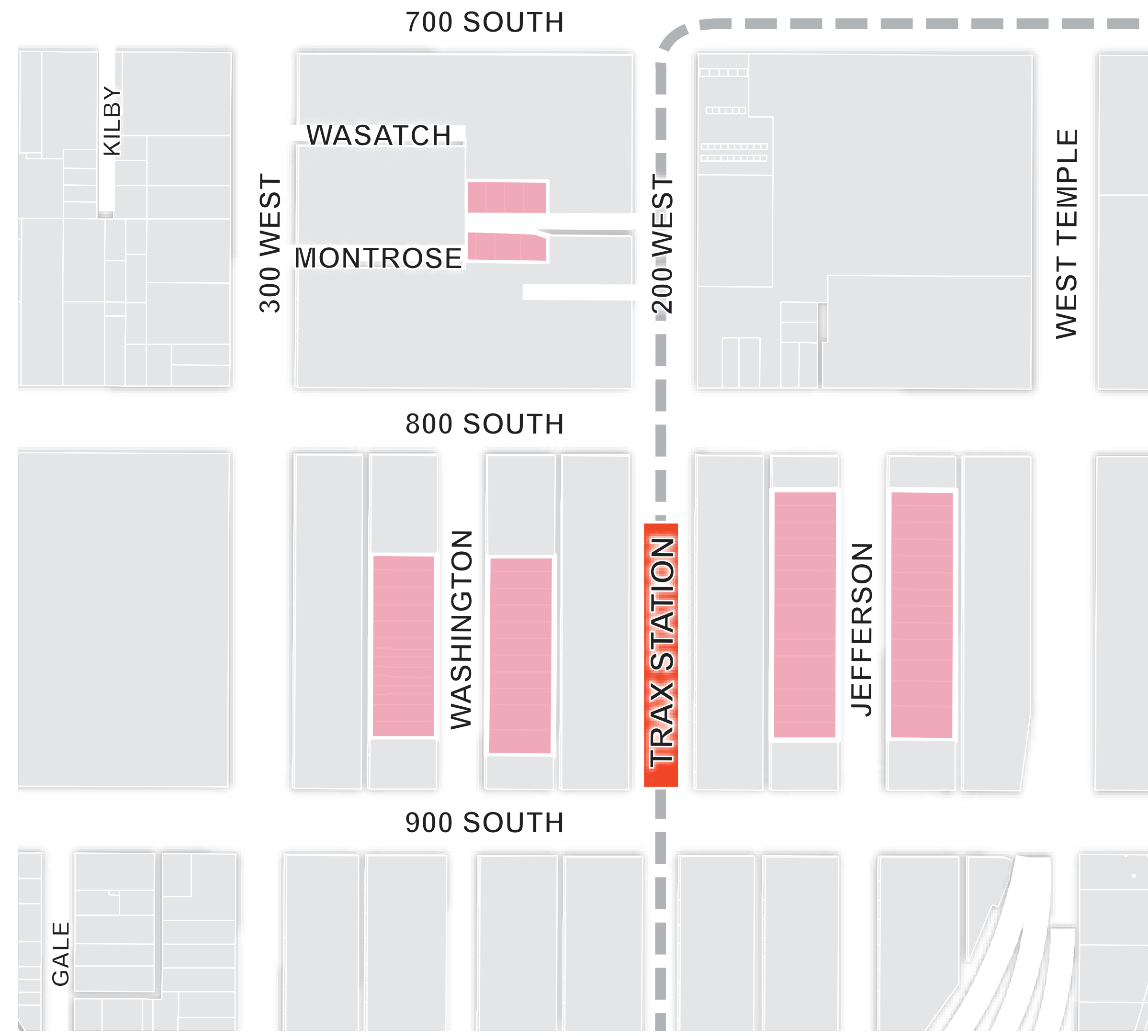
# FB-UN-1

## FORM BASED CODE

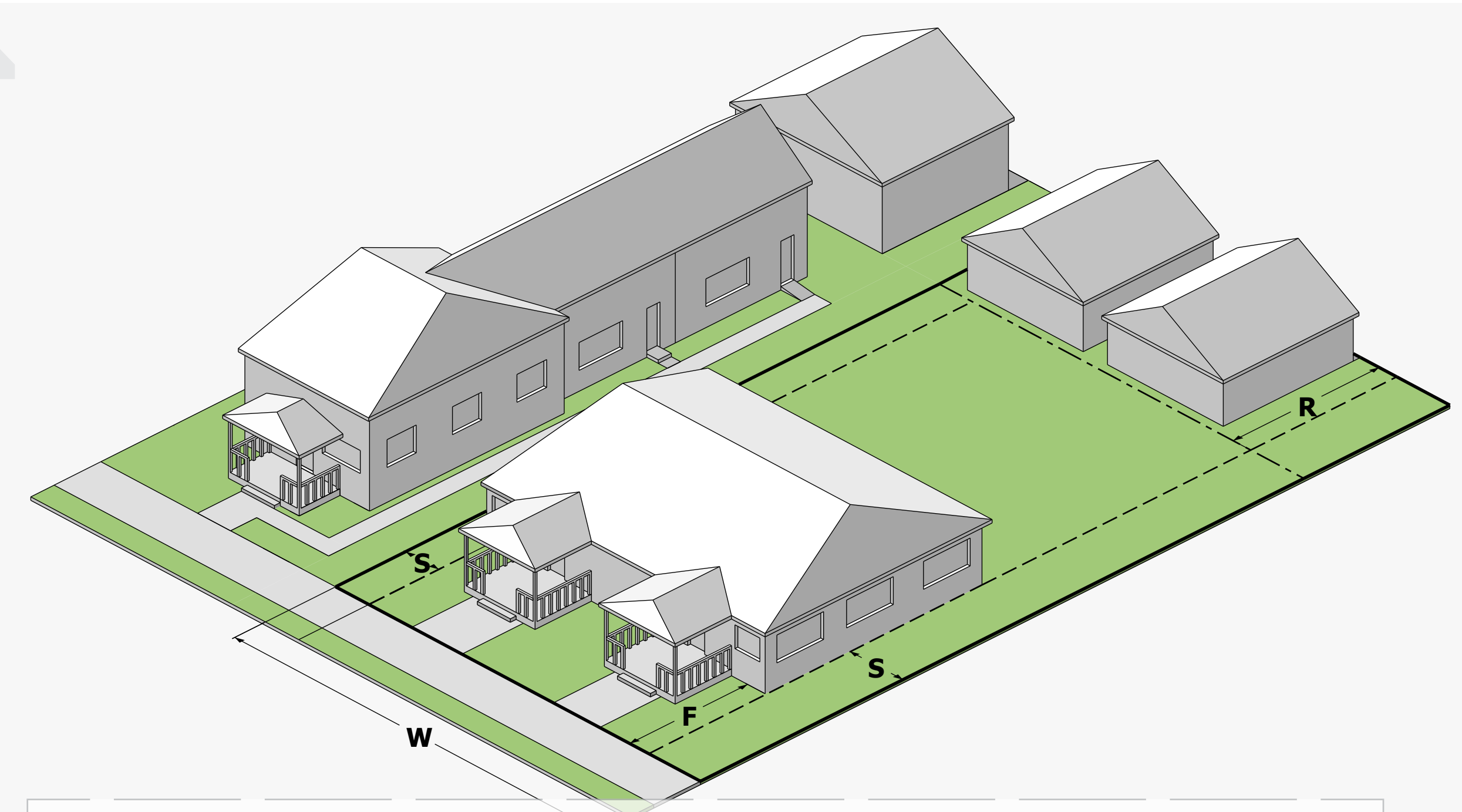
### URBAN NEIGHBORHOOD

#### PROPOSED AREA

WASHINGTON, JEFFERSON,  
AND MONTROSE STREETS



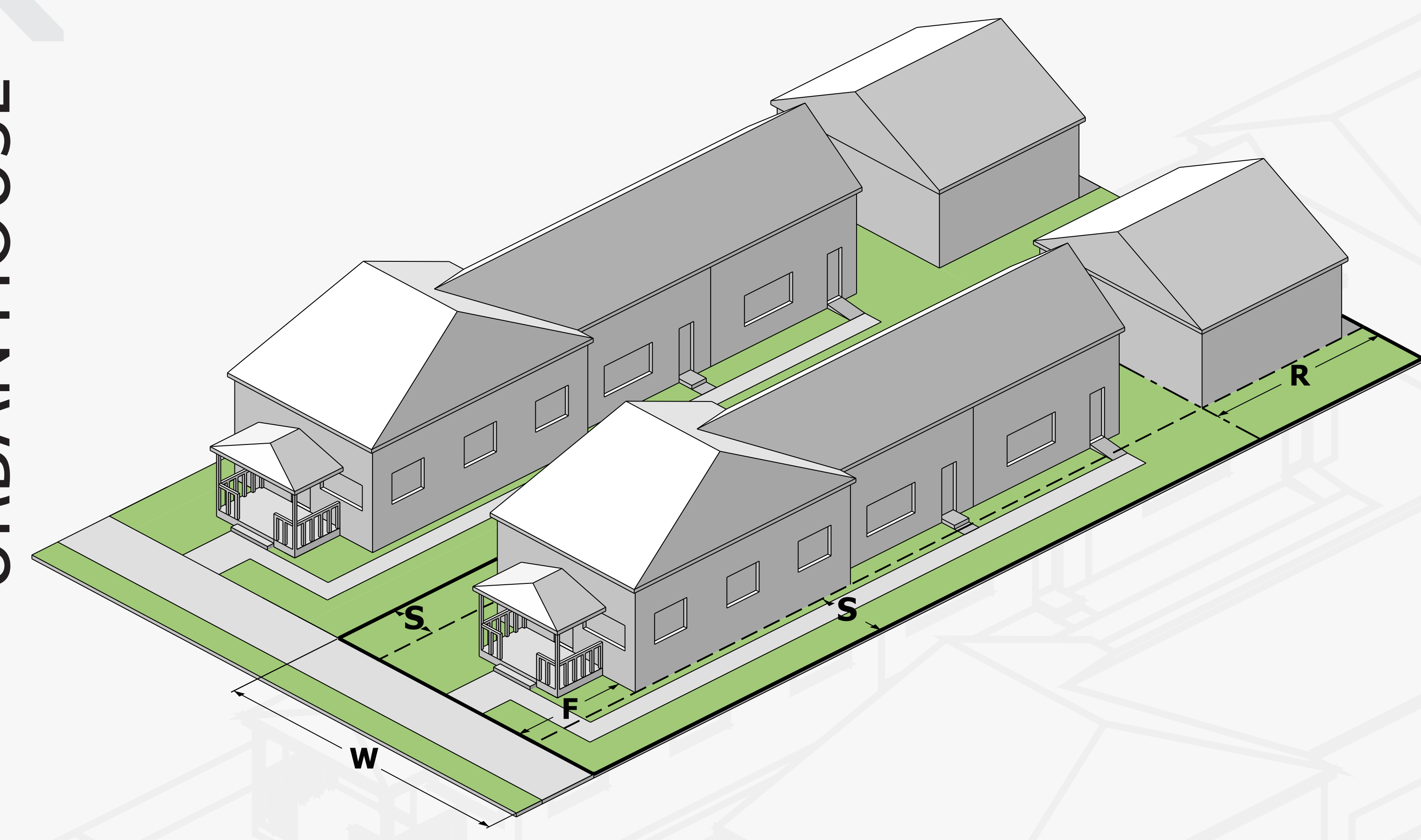
TWO FAMILY DWELLING



- Typical duplex, may be side to side, up and down.
- Height: up to 30 feet (2.5 stories)
- Setbacks
  - (F) Front: 10-20 feet
  - (S) Sides: At least 4 feet
  - (R) Rear: 20% of lot depth up to 25 feet
  - (W) Lot Width: 15 feet per unit
- Design Standards
  - ▶ Must have front entry and a porch, landing, or other entry feature.
  - ▶ Some windows required on front of house
- Parking
  - ▶ Not allowed in front yard
  - ▶ Accessed from alleyways when possible
  - ▶ No minimum parking required

## BUILDING FORM TYPES

URBAN HOUSE



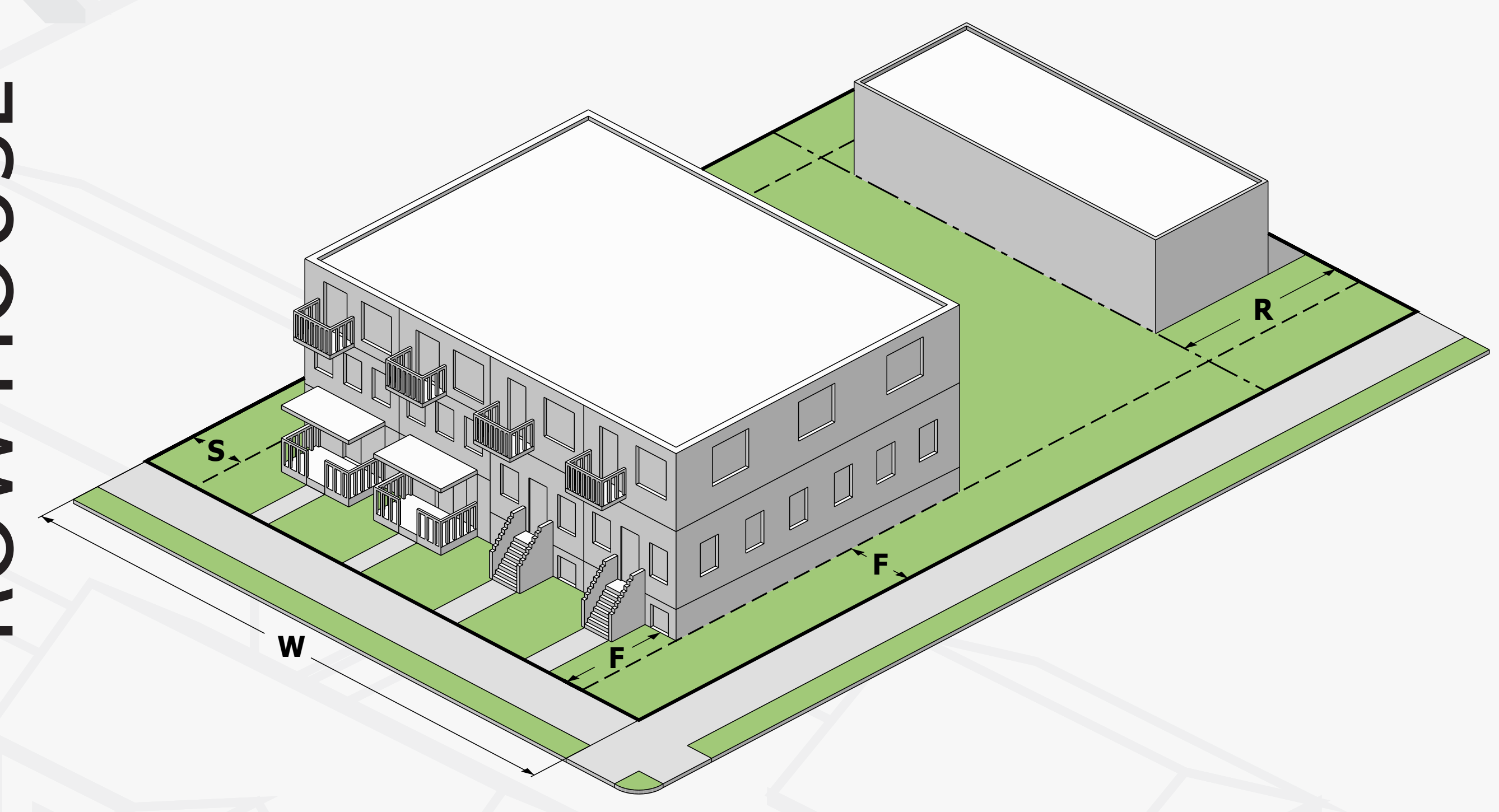
- Looks like a single family home from the street.
- May contain up to 3 dwelling units
- Height: up to 30 feet (2.5 stories)
- Setbacks
  - (F) Front: 10-20 feet
  - (S) Sides: At least 4 feet
  - (R) Rear: 20% of lot depth up to 25 feet
  - (W) Lot Width: 30 feet
- Design Standards
  - ▶ Must have front entry and a porch, landing, or other entry feature
  - ▶ 2nd or 3rd units can be entered from side or rear
  - ▶ Some windows required on front of house
- Parking
  - ▶ Not allowed in front yard
  - ▶ Accessed from alleyways when possible
  - ▶ No minimum parking required

COTTAGE HOUSE



- Small, detached single family homes on a single lot
- Height: up to 30 feet (2.5 stories)
- Setbacks
  - (F) Front: 10-20 feet
  - (S) Sides: At least 4 feet
  - (R) Rear: 20% of lot depth up to 25 feet
  - (W) Lot Width: 15 feet per unit
- Design Standards
  - ▶ Must have front entry and a porch, landing, or other entry feature.
  - ▶ Some windows required on front of house
- Parking
  - ▶ Not allowed in front yard
  - ▶ Accessed from alleyways when possible
  - ▶ No minimum parking required

ROW HOUSE



- Single family homes that are attached.
- May contain up to 4 homes per building
- Height: up to 30 feet (2.5 stories)
- Setbacks
  - (F) Front: 10-20 feet
  - (S) Sides: At least 4 feet
  - (R) Rear: 20% of lot depth up to 25 feet
  - (W) Lot Width: 15 feet per unit
- Design Standards
  - ▶ Must have front entry and a porch, landing, or other entry feature.
  - ▶ Each unit has its own front door
  - ▶ Some windows required on front of house
- Parking
  - ▶ Not allowed in front yard
  - ▶ Accessed from alleyways when possible
  - ▶ No minimum parking required



# FB-UN-2

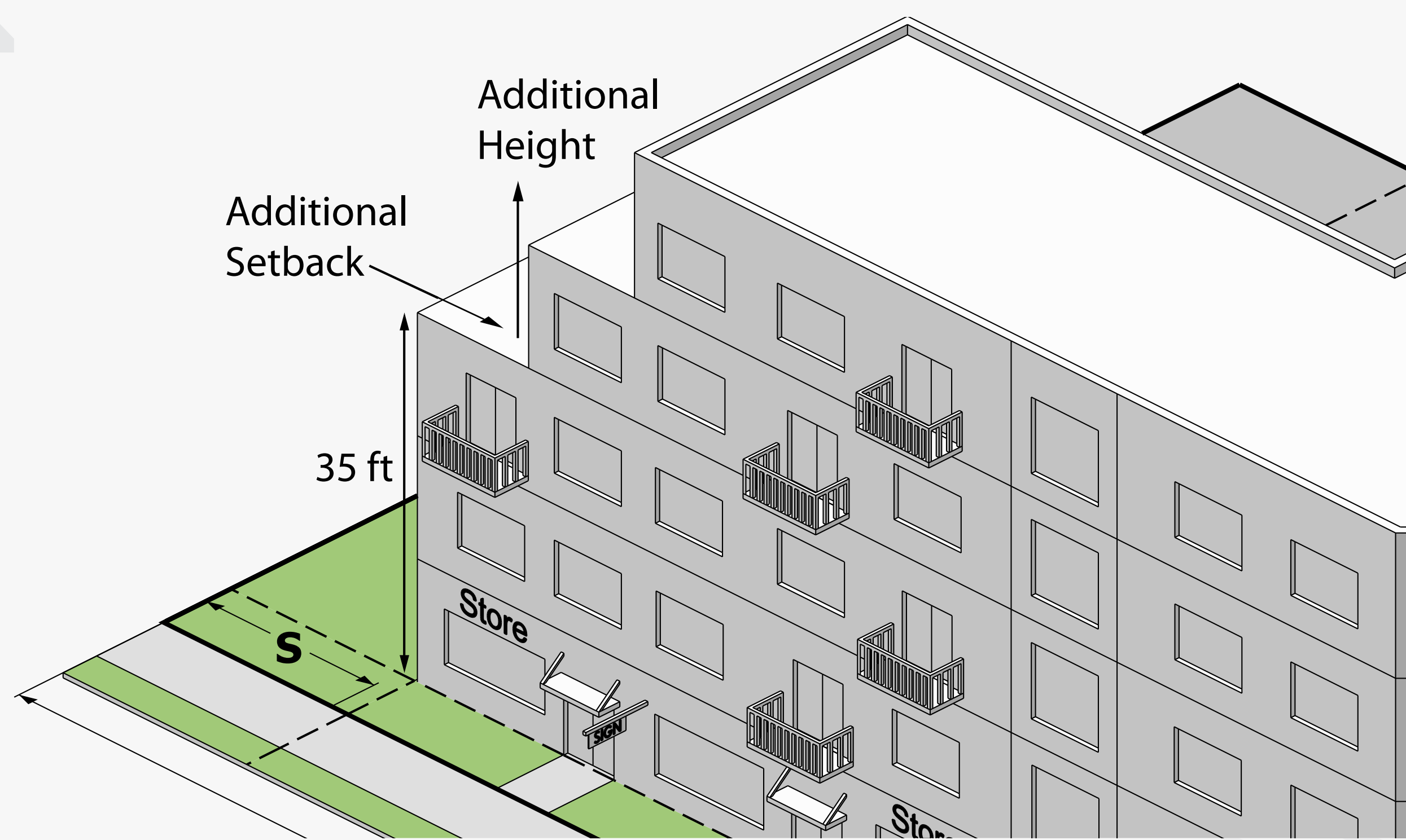
## FORM BASED CODE

### URBAN NEIGHBORHOOD

#### PROPOSED AREA



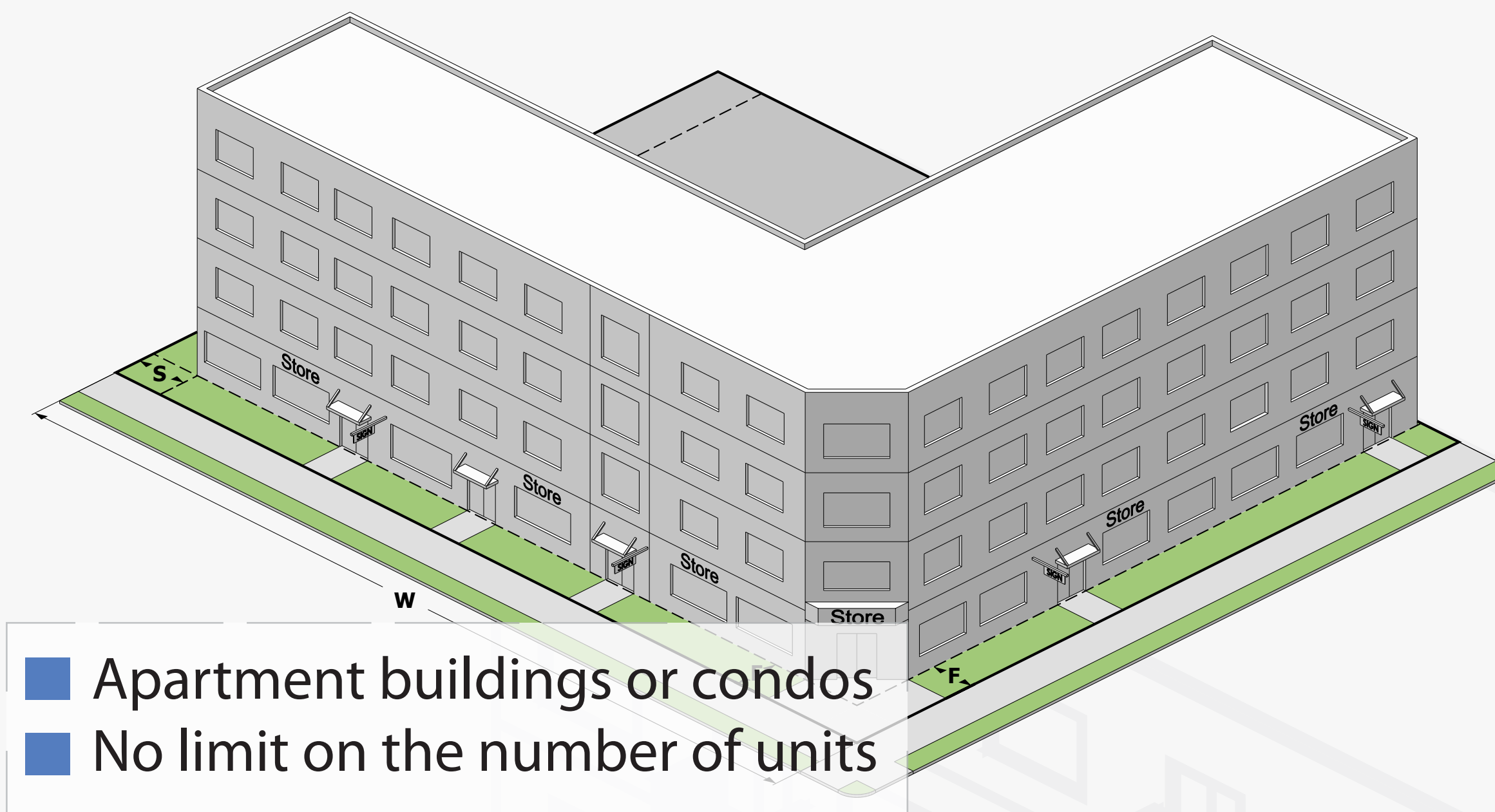
#### HEIGHT STEP BACK



For buildings next to FB-UN-1 zoning, an additional setback is required for stories located above 35 feet. One additional foot of setback is required for every foot above 35 feet.

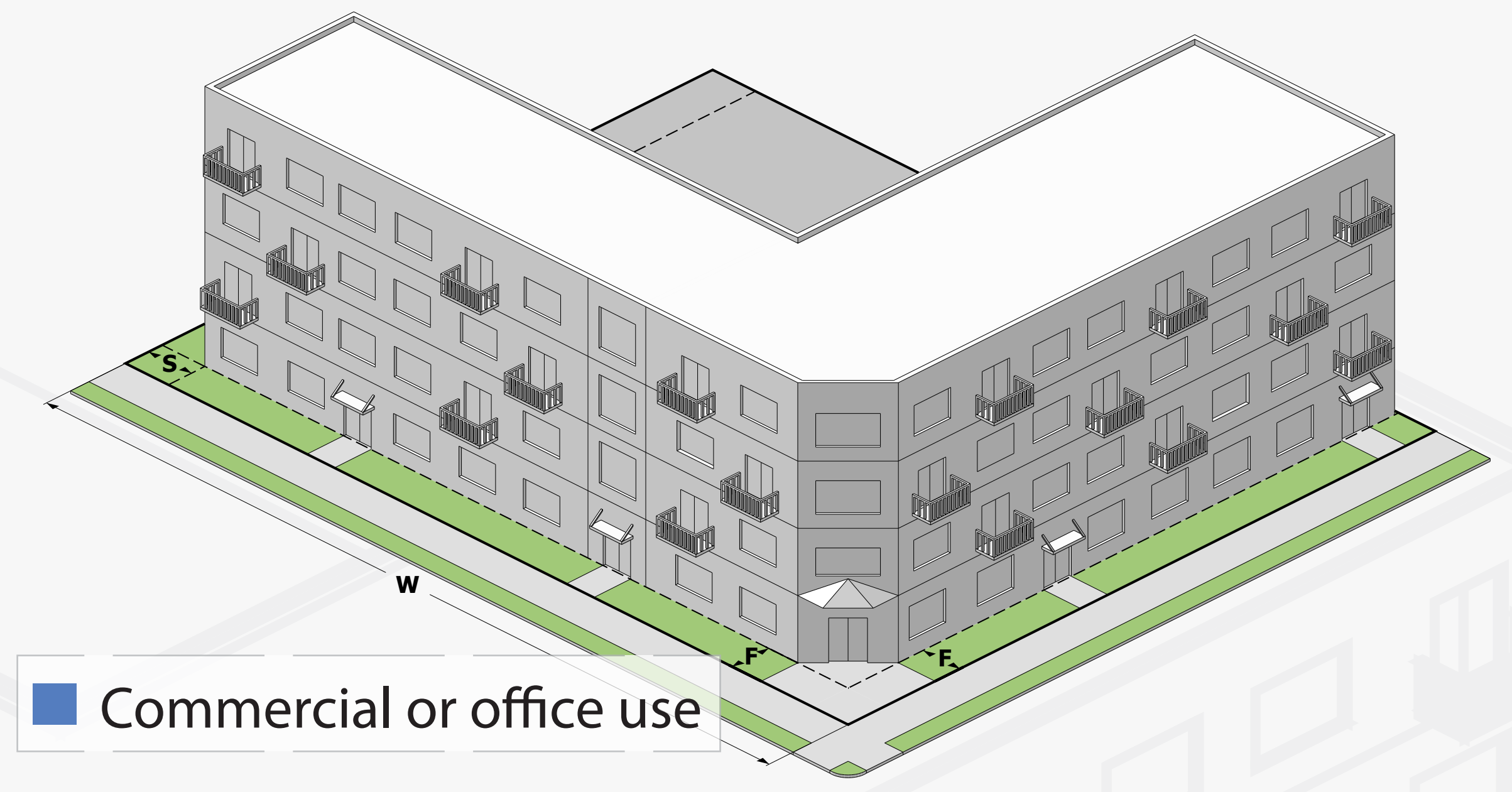
## BUILDING FORM TYPES

### MULTI-FAMILY



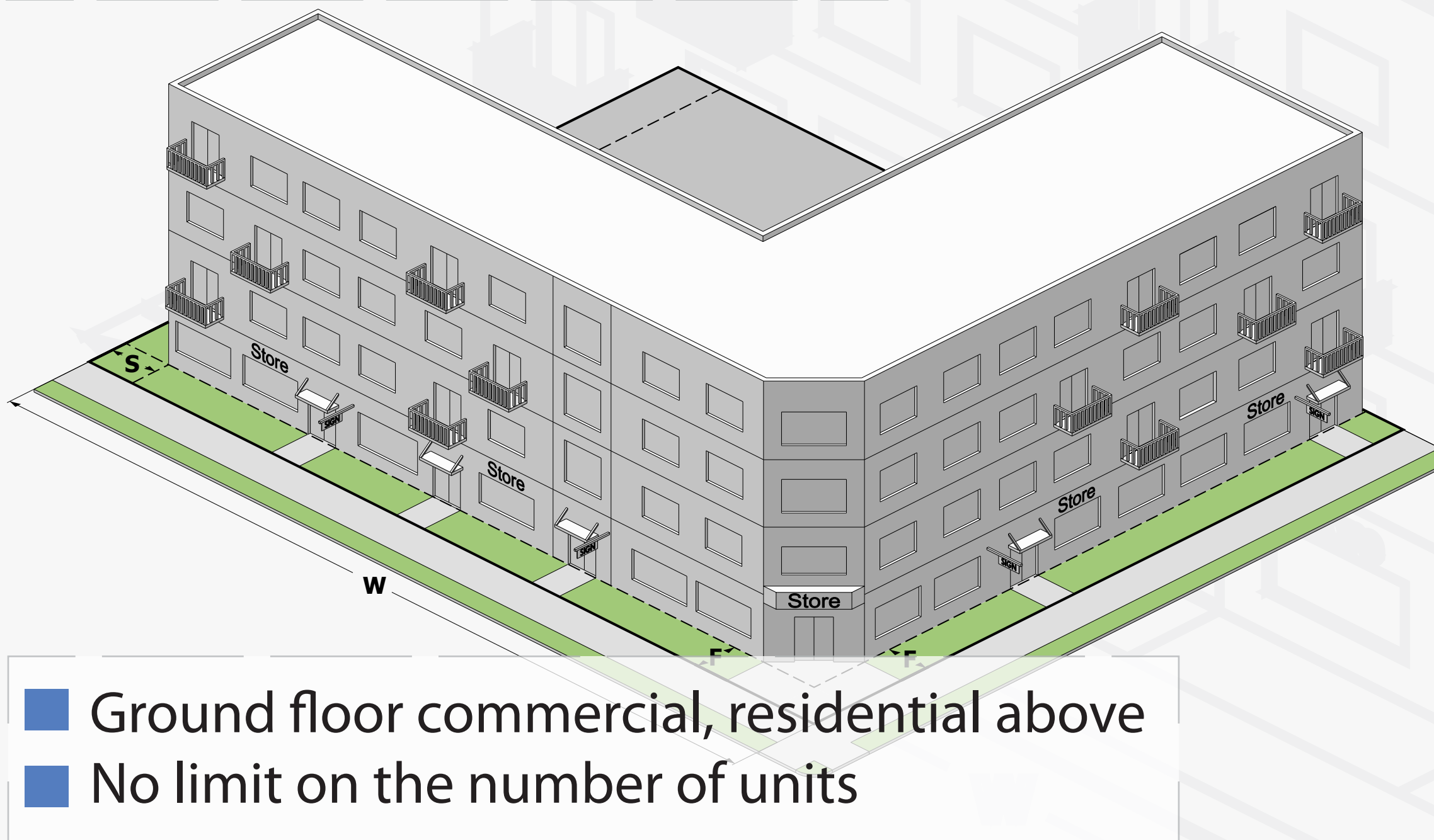
- Apartment buildings or condos
- No limit on the number of units

### STORE FRONT



- Commercial or office use

### MIXED USE



- Ground floor commercial, residential above
- No limit on the number of units

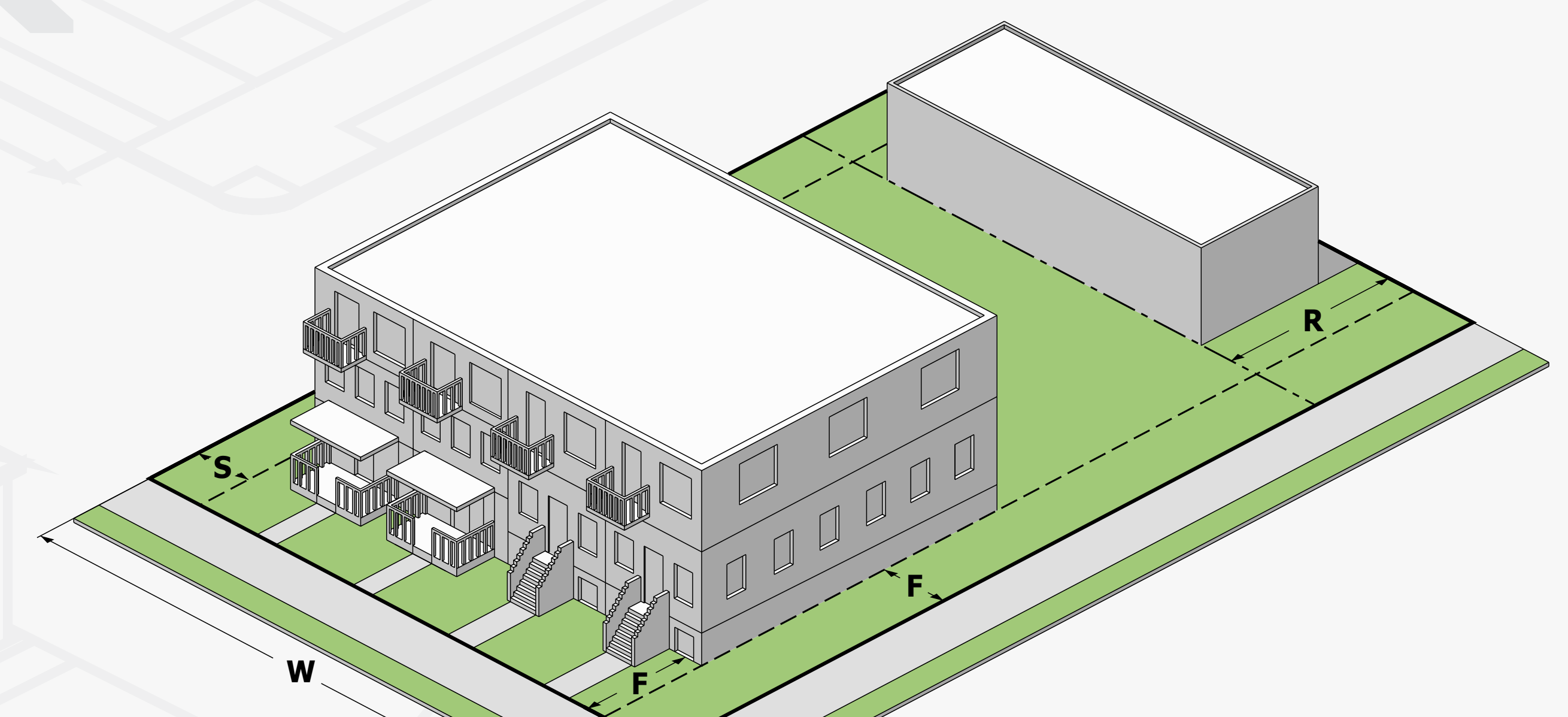
- Height: up to 50 feet (4 stories)
- Setbacks
  - (F) Front: 5-10 feet
  - (S) Sides: At least 20 feet next to FB-UN-1
  - (R) Rear: At least 25 feet next to FB-UN-1
  - (W) Lot Width: 35 feet
- Design Standards
  - ▶ Must have front entry and a porch, landing, or other entry feature.
- Parking
  - ▶ Not allowed in front yard
  - ▶ Accessed from alleyways when possible
  - ▶ No minimum parking required
- ▶ Some windows required on front
- ▶ No long blank walls
- ▶ Requires use of glass, brick, masonry, concrete or stone on front of building

### COTTAGE HOUSE



- Small, detached single family homes on a single lot
- Height: up to 30 feet (2.5 stories)
- Setbacks
  - (F) Front: 5-10 feet
  - (S) Sides: At least 4 feet
  - (R) Rear: 20% of lot depth up to 25 feet
  - (W) Lot Width: 15 feet per unit
- Design Standards
  - ▶ Must have front entry and a porch, landing, or other entry feature
  - ▶ Some windows required on front of house
- Parking
  - ▶ Not allowed in front yard
  - ▶ Accessed from alleyways when possible
  - ▶ No minimum parking required

### ROW HOUSE



- Single family homes that are attached
- May contain up to 10 homes per building
- Height: up to 50 feet (4 stories)
- Setbacks
  - (F) Front: 5-10 feet
  - (S) Sides: At least 4 feet, 15 when next to FB-UN-1
  - (R) Rear: 20% of lot depth up to 25 feet
  - (W) Lot Width: 15 feet per unit
- Design Standards
  - ▶ Must have front entry and a porch, landing, or other entry feature
  - ▶ Each unit has its own front door
  - ▶ Some windows required on front of house
- Parking
  - ▶ Not allowed in front yard
  - ▶ Accessed from alleyways when possible
  - ▶ No minimum parking required



**Attachment C**  
**Draft Zoning Text**

## **Chapter 21A.27 Form Based Zoning Districts**

### **21A.27.010 General Provisions**

- A. Statement of Intent: The Form Based Zoning Districts are intended to provide zoning regulations that focus on the form of development, the manner in which buildings are oriented towards public spaces, the scale of development, and the interaction of uses within the City. The form based zoning districts provide places for people to live, work, and play in close proximity. The regulations place emphasis on the built environment over land use.
- B. How to Use this Chapter: This zoning district places the emphasis on the form, scale, placement, and orientation of buildings. Each subdistrict includes a table of permitted building forms and specific development regulations for each building form. The first step is to identify which subdistrict the property is located in, and then identify what building forms are permitted, and finally what standards apply to the specific building form. Any use listed as permitted is allowed in any building form that is permitted in that subdistrict. All new developments and additions to existing buildings shall comply with the specific requirements of this chapter.

### **21A.27.020 Reserved**

### **21A.27.030 Reserved**

### **21A.27.040 Reserved**

### **21A.27.050 FB-UN1 and FB-UN2 Urban Neighborhood Zoning District**

- A. Purpose Statement: The purpose of the FB-UN Urban Neighborhood Zoning District is to create an urban neighborhood that provides the following:
  - Options for housing types;
  - Options in terms of shopping, dining, and fulfilling daily needs within walking distance or conveniently located near transit;
  - Transportation options;
  - Access to employment opportunities within walking distance or close to transit;
  - Appropriately scaled buildings that respect the existing character of the neighborhood;
  - Safe, accessible, interconnected networks for people to move around in; and
  - Increased desirability as a place to work, live, play, and invest through higher quality form and design.
- B. Context Description: The Form Based Urban Neighborhood Zoning District is intended to be utilized on the edges of dense, urban centers, such as Downtown. It is appropriate in areas with the following characteristics:
  1. Street, Block and Access Patterns: a regular pattern of blocks surrounded by a traditional grid of streets that provide mobility options and connections for pedestrians, bicyclists, and automobiles. Blocks include sidewalks separated from the vehicle travel lanes by a landscaped park strip. Front yards are landscaped or include active, outdoor uses.
  2. Building Placement and Location: Residential buildings are generally located close to the sidewalk with a small, transitional, semi-public space, such as a landscaped front yard, that



is consistent along the block face. Buildings along arterials are located close to the sidewalk with parking to the side or behind the building.

3. **Building Height:** Building heights on local streets are relatively low and consistent with existing building heights with little variation. Buildings located on arterial streets are generally taller, but may not exceed five stories.
  4. **Mobility:** A balance between pedestrians, bicyclists, transit riders, and motorists exist in the area, and residents are well connected to other parts of the City.
- C. **Subdistricts:** The following subdistricts can be found in the Form Based Urban Neighborhood Zoning District:

1. **FB-UN1:** Generally includes small scale structures, up to 2½ stories in height, on relatively small lots with up to four dwelling units per lot depending on building type. Development regulations are based on the building type.
2. **FB-UN2:** Generally includes buildings up to 4 stories in height, with taller buildings located on street corner parcels, which may contain a single use or a mix of commercial, office, and residential uses. Development regulations are based on building type, with the overall scale, form, and orientation of buildings as the primary focus.
3. **Applicability of Subdistricts:** The regulations of the subdistricts shall apply as indicated in the Regulating Plan Map below:



*Form Based Urban Neighborhood Districts*

D. **Specific Intent of Regulations:**

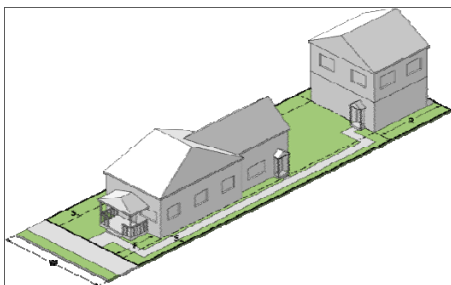
1. **Design-Related Standards.** The design-related standards are intended to do the following:
  - a. Implement applicable master plans;
  - b. Continue the existing physical character of residential streets while allowing an increase in building scale along arterials and near transit stations;
  - c. Focus development and future growth in the City along arterials and near transit stations;
  - d. Arrange buildings so they are oriented towards the street in a manner that promotes pedestrian activity, safety and community;
  - e. Provide human-scaled buildings that place the design and main entrance/exit emphasis on the street facing facades;
  - f. Provide connections to transit through public walkways;
  - g. Provide areas for appropriate land uses that encourage use of public transit and are compatible with the neighborhood; and
  - h. Promote pedestrian and bicycle amenities near transit facilities to maximize alternative forms of transportation.

2. Building Form Standards:

- a. Encourage building forms that are compatible with the neighborhood and the future vision for the neighborhood by acknowledging there will be different scaled buildings in the area.
- b. Arrange building heights and scale to provide appropriate transitions between buildings of different scales and adjacent areas, especially between different subdistricts.
- c. Guide building orientation through setbacks and other requirements to create a consistent street edge, enhance walkability by addressing the relationship between public and private spaces, and ensure architectural design will contribute to the character of the neighborhood.
- d. Use building form, placement, and orientation to identify the private, semi-private and public spaces.
- e. Minimize the visual impact of parking areas.
- f. Minimize conflicts between pedestrians, bicyclists and vehicles.

E. Building Forms:

1. The permitted building forms are described in this section. Each building form includes a general description and definition as well as images of what the building form may look like. Building form images are for informational purposes only and not intended to demonstrate exactly what shall be built. The description and images should be used to classify existing and proposed buildings in order to determine what development regulations apply. They should not be used to dictate a specific architectural style as both traditional and contemporary styles can be used.
  - a. Urban House: A residential structure with the approximate scale of a single dwelling unit, as viewed from the street, but may contain up to 3 dwelling units. The structure has a single entry facing the street, a front porch or stoop and a small front yard. Second units may be arranged vertically (up and down) or horizontally (front and back) but the entry to the second unit is from the side or rear. A second unit may also be located along an alley as a stand-alone unit or as a dwelling unit located in an accessory building. All units are on a single lot.



*Urban house with detached dwelling*



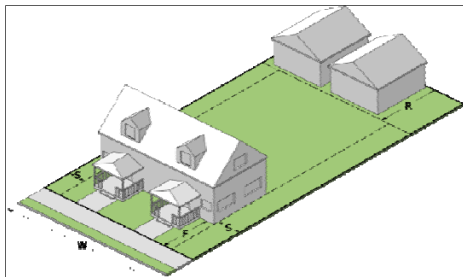
*Modern and traditional forms*



*Two story contemporary form*



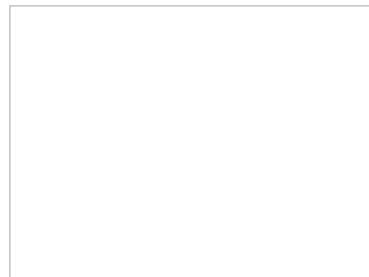
- b. Two Family Dwelling: A residential structure that contains two dwelling units in a single building. The units may be arranged side by side, up and down or front and back. Each unit has its own separate entry directly to the outside. The units may be on individual lots for the purpose of separate ownership or on one lot.



*Two family dwelling with garages*

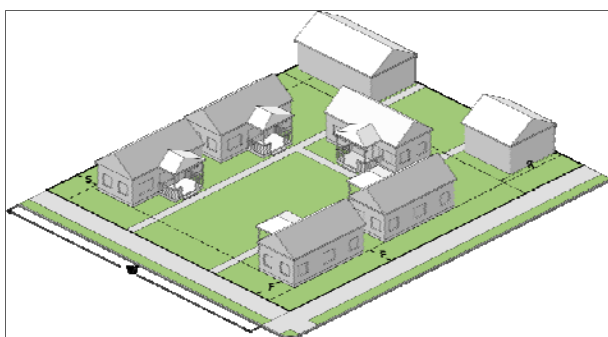


*Traditional two family dwelling*

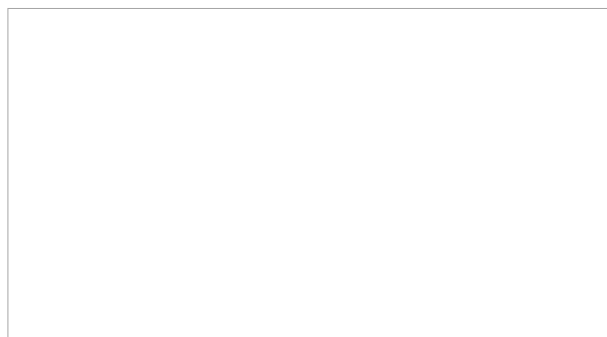


*Modern two family dwelling*

- c. Cottage Development: A unified development that contains 2 or more detached dwelling units with each unit appearing to be a small single family dwelling with a common green or open space.

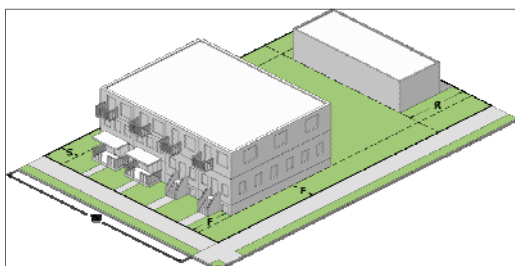


*Cottage Development on single parcel*

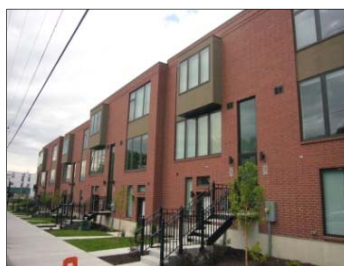


*Cottage Development in Daybreak, Utah*

- d. Row House: A series of attached single family dwellings that share at least one common wall with an adjacent dwelling unit. A row house contains a minimum of 3 residential dwelling units. Each unit may be on its own lot. If possible, parking is located in the rear of the lot and accessed by an alley.



*Row House on single parcel*



*Modern row house form*

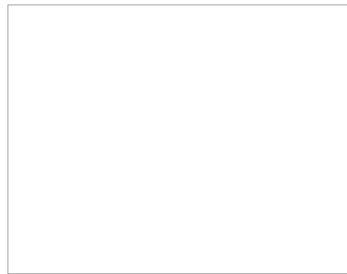


*Traditional row house form*

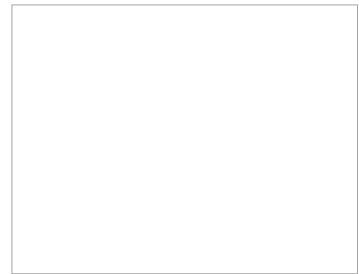
- e. Multi-Family Residential: A multi-family residential structure containing three or more dwelling units that may be arranged in a number of configurations.



*Multi family residential form*

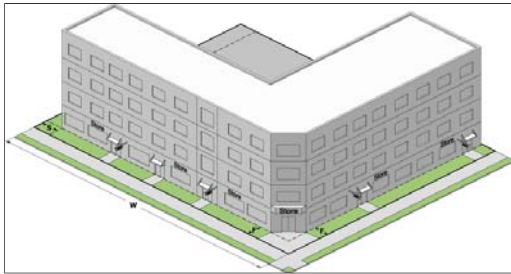


*Multi family modern form*

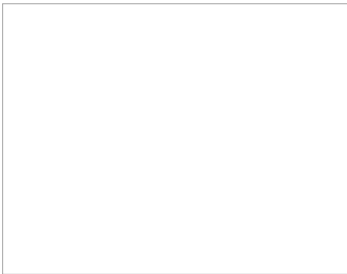


*Multi family traditional form*

- f. Store Front: A commercial structure that may have multiple stories and contain a variety of commercial uses that are allowed in the district that permits this building type. All buildings, regardless of the specific use, have a ground floor that looks like a storefront.



*Store front form*

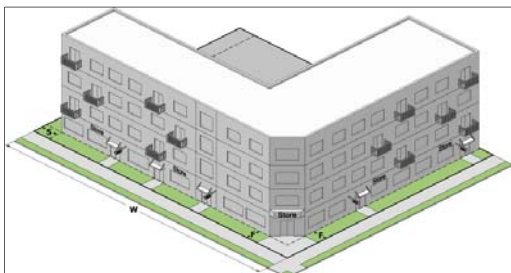


*Contemporary store front*



*Traditional store front*

- g. Vertical Mixed Use: A multi-story building that contains a mix of commercial and/or office with residential uses.



*Vertical mixed use multi-story form*



*Modern materials*



*Traditional materials*

2. Form Regulations: The building form standards are listed below in Table A and Table B. Building form standards apply to all new buildings and additions that are greater than 25% of the footprint of the structure or 1,000 square feet whichever is less. Refer to section 21A.27.050.F for more information on how to comply with the Building Configuration Standards. The specific standards are found in the Table A and Table B. The graphics provide a visual representation of the standards as a guide and are not meant to supersede the standards in the table.



**Table A FB-UN1 Building Form Standards**

Building Regulation		Building Form			
Building Height and Placement		Urban House	Two Family Dwelling	Cottage Development	Row House
H	Height	2.5 stories, maximum of 30 ft			
F	Front and Corner Side Yard Setback	Equal to average setback of block face, where applicable, otherwise Minimum 10 ft Maximum 20 ft			
S	Interior Side Yard	Minimum 4 ft			
R	Rear Yard	Minimum of 20% lot depth up to 25 ft			
L	Minimum Lot Size	3,000 sq ft; not to be used to calculate density			
W	Minimum Lot Width	30 ft	15 ft per unit	15 ft per unit facing a street	15 ft per unit. Side orientation allowed provided building configuration standards are complied with
DU	Maximum Dwelling Units per Building Form	2 units	2 units	1 unit per cottage, multiple cottages per lot	Minimum of 3 Maximum of 4
BF	Number of Building Forms per Lot	1 building form permitted for every 3,000 sq ft of lot area		1 cottage for every 1,500 sq ft of lot area	1 building form permitted for every 3,000 sq ft of lot area
<b>Parking</b>					
Surface Parking in Front and Corner Side yards		Not permitted			
Vehicle Access		Alley access required if property is served by a public alley or private alley with access rights. From a street if no alley access exists			
Parking on Separate Lots		Not permitted		Parking may be provided on an adjacent lot or in a common area associated with the development	
<b>Building Configuration</b>					
Building Entry		Minimum of 1 entry facing public street. Two Family Dwellings shall have at least 1 entry facing a street. Side entries for building forms with 2 or more dwelling units are permitted provided a minimum of 1 building entry faces a street			
Pedestrian Connections		Pedestrian access to public walkways required	Pedestrian access to public walkways required for each dwelling unit		
Ground floor transparency		Minimum of 20% of street facing facade.			
Attached Garages and Carports		Attached garages and carports are required to be in the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided the garage door (or doors) is no wider than 50% of the front façade of the structure and setback at least 5 ft from the street facing building facade. Side loaded garages are permitted			

**Table B FB-UN2 Building Form Standards**







Building Height and Placement		Cottage Development	Row House	Multi-Family Residential	Mixed Use	Store Front
H	Height	2.5 stories, maximum of 30 feet	4 stories with a maximum of 50 ft. 5 stories with a maximum of 65 ft on parcels located on the corners of 300 West Street at 800 or 900 South, and West Temple Street at 800 or 900 South			
F	Front and Corner Side Yard Setback	Minimum 5 ft Maximum 10 ft				
B	Required Build-To	Minimum of 50% of street facing façade shall be built to the minimum setback line				
S	Interior Side Yard	Minimum of 4 ft unless adjacent to FB-UN1, then minimum of 15 ft		Minimum of 15 ft when adjacent to FB-UN-1		
R	Rear Yard	Minimum of 25 ft when rear yard is adjacent to FB-UN-1		Minimum of 20 ft when rear yard is adjacent to FB-UN-1		
U	Upper Level Step Back	When adjacent to a lot in the FB-UN-1, buildings shall be stepped back 1 additional foot for every foot of building height above 35 ft				
L	Minimum Lot Size	4,000 sq ft; not to be used to calculate density				
W	Minimum Lot Width	15 ft per unit facing a street. Side orientation allowed provided building configuration standards are complied with		30 ft		
DU	Dwelling Units per Building Form	1 per cottage	Minimum of 3 Maximum of 5		No minimum or maximum	
BF	Number of Building Forms per Lot	1 cottage for every 1,000 sq ft of lot area	1 building form permitted for every 4,000 sq ft of lot area			
<b>Parking</b>						
Surface Parking in Front and Corner Side yards		Not permitted				
Vehicle Access		If off-street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from a street is only permitted when no alley access exists. If pull-through parking is required by fire or other code, ingress shall be from street and egress onto alley				
Vehicle Access Width at Street		When a one-directional vehicle drive is included in a development, no vehicle drive or curb cut may exceed 12 ft in width. When a multi-directional vehicle drive is included, a curb cut may not exceed 24 ft in width				
Parking on Separate Lots		Parking may be provided on an adjacent lot, or in a common area associated with the development, or within 500 ft of the property. If located on an adjacent parcel or on a parcel within 500 ft, the proposed location of the parking shall contain a principal building and the parking shall be located behind a principal building				
<b>Building Configuration</b>						
Building Entry		Minimum of 1 building entry per street frontage. Side entries for multiple dwelling unit buildings are permitted provided there is at least 1 primary entrance facing a public street.				
Pedestrian Connections		Pedestrian access to public walkway is required for each unit		Pedestrian access to public walkway is required		
Ground floor transparency		Minimum of 60% of street facing façade, located between 2 ft and 8 ft above the grade of the sidewalk, shall be transparent glass. This may be reduced to 30% if ground floor is occupied by residential uses				

Building Fenestration	Required as per 21A.27.050.F
Open Space	A minimum of 10% of open space must be provided. Open space may include landscaped yards, patios, dining areas, balconies, rooftop gardens and other similar outdoor living spaces
Upper Level Outdoor Space	All street facing residential units above the ground floor shall contain a usable balcony that is a minimum of 4 ft in depth. Balconies may overhang any required yard
Building Façade Materials	A minimum of 70% of any street facing building facade shall be clad in glass, brick, masonry, textured or patterned concrete, or stone. Other materials may count up to 30% of the street facing building façade
Attached Garages and Carports	Attached garages and carports are required to be in the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided that the garage door (or doors) is no wider than 50% of the front façade of the structure and the entry to the garage is set back at least 10 ft from the street facing building façade and at least 20 ft from a public sidewalk. Side loaded garages are permitted

F. Building Configuration Standards Defined: The building configuration standards are defined in this section. The defined standards in this section are intended to identify how to comply with the building configuration standards listed in Table A FB-UN1 Building Form Standards and Table B FB-UN2 Building Form Standards of this chapter:

1. Building entry: An entry will be considered to be the main entrance to a building intended for pedestrian use. Minimum of 1 main entry with an entry feature facing a public street or walkway. Two Family dwelling unit buildings shall have a minimum of one main entry with porch or stoop for at least one of the dwelling units facing a street. The main entry for the second dwelling unit may face the street or side yard but also must have a porch or stoop entrance. Where required, the building entry must be one of the following:
  - a. Door on the same plane as street facing façade.
  - b. Recessed Entry: Inset behind the plane of the building no more than 10 feet. If inset, then the sidewalls of the inset must be lined with clear glass. Opaque, smoked, or darkened glass is not permitted.
  - c. Corner Entrance: Entry that is angled or an inside corner located at the corner of two intersecting streets.
  - d. Encroachments: a permitted entry feature may encroach into a required yard provided no portion of the porch is closer than 5 feet to the front property line.
  - e. The following building entries are permitted as indicated:



Entry Feature Permitted Based on Building Form Type	Urban House	Development	Two Family Dwelling	Row House	Multi-Family	Store Front	Vertical Mixed Use	Reference illustration
<p>Porch and Fence: A planted front yard where the street facing building façade is set back from the front property line with an attached porch that is permitted to encroach into the required yard. The porch shall be a minimum of 6 ft in depth. The front yard may include a fence no taller than 3 ft in height.</p>	P	P	P	P	P			
<p>Terrace or Lightwell: An entry feature where the street facing façade is setback from the front property line by an elevated terrace or sunken lightwell. May include a canopy or roof.</p>			P	P	P	P	P	
<p>Forecourt: An entry feature wherein a portion of the street facing facade is close to the property line and the central portion is set back. The court created must be landscaped, contain outdoor plazas, outdoor dining areas, private yards, or other similar features that encourage use and seating.</p>	P	P	P	P	P	P	P	
<p>Stoop: An entry feature wherein the street facing façade is close to the front property line and the first story is elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance contains an exterior stair and landing that is either parallel or perpendicular to the street. Recommended for ground floor residential uses.</p>		P	P	P	P	P	P	
<p>Shopfront: An entry feature where the street facing façade is close to the property line and building entrance is at sidewalk grade. Building entry is covered with an awning, canopy, or is recessed from the front building façade, which defines the entry and provides protection for customers.</p>					P	P	P	
<p>Gallery: A building entry where the ground floor is no more than 10 ft from the front property line and the upper levels or roofline cantilevers from the ground floor façade up to the front property line.</p>					P	P	P	

2. Pedestrian Connections: Where required, the following pedestrian connection standards apply:
  - a. The connection shall provide direct access from any building entry to the public sidewalk or walkway.
  - b. The connection shall comply with ADA standards for accessibility.
  - c. The connection shall be fully paved and have a minimum width of 4 feet.
  - d. The connection shall be separated from vehicle drive approaches and drive lanes by a change in grade and a wheel stop if the walkway is less than 8 feet wide.
  - e. Pedestrian connections that lead directly from the sidewalk to the primary building entrance may contain wing walls, no taller than 2 feet in height for seating, landscaping, etc.
3. Ground Floor Transparency: Where required, the ground floor transparency standards apply:
  - a. There must be visual clearance behind the glass for a minimum of two feet (2'). Three-dimensional display windows at least two feet (2') deep are permitted and may be counted toward the sixty percent (60%) glass requirement.
  - b. Ground floor windows of commercial uses shall be kept clear at night, free from any window covering, with internal illumination. When ground floor glass conflicts with the internal function of the building, other means shall be used to activate the sidewalk, such as display windows, public art, architectural ornamentation or detailing or other similar treatment.
  - c. The reflectivity in glass shall be limited to eighteen percent (18%) as defined by ASTA standards.
  - d. The first floor elevation facing a street of all new buildings, or buildings in which the property owner is modifying the size of windows on the front facade, shall comply with these standards.
4. Building Fenestration: No building wall that faces onto a street shall exceed more than 30 feet in length without being interrupted by doors, required building entry feature, windows, or a change of building wall plane that results in an offset of at least 12 inches.

G. Cottage Development Standards:

1. Setbacks between individual cottages: All cottages shall have a minimum setback of 8 feet from another cottage.
2. Footprint: No cottage shall have a footprint in excess of 800 square feet.
3. Building entrance: All building entrances shall face a public street or a common open space.
4. Open Space: A minimum of 250 square feet of common, open space is required per cottage up to a maximum of 1,000 square feet. The open space for the entire development shall be contiguous and have a minimum dimension of 20 feet on all sides.



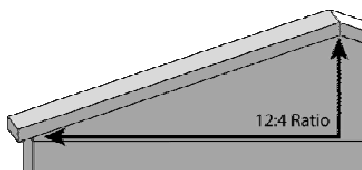
*Illustration of building fenestration*

#### H. Design Standards Alternatives:

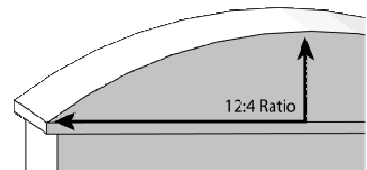
1. Alternatives to the required build to line: Where a "Required Build To" standard applies, the following alternatives may count towards the minimum build to requirement as indicated.
  - a. Landscaping walls: Landscaping walls between 30 inches and 42 inches high may count toward 25% of the minimum requirement provided the following:
    1. The wall incorporates seating areas accessible from both sides.
    2. The wall is constructed of masonry, concrete, stone or ornamental metal.
    3. The wall maintains clear view sight lines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
  - b. Pergolas and trellis: Pergolas and trellis may count toward 25% of the minimum build to requirement provided the following:
    1. The structure is at least 48 inches deep as measured perpendicular to the property line.
    2. A vertical clearance of at least 8 feet is maintained above the walking path of pedestrians.
    3. Vertical supports are constructed of wood, stone or metal with a minimum of 6 inches by 6 inches or a radius of at least 4 inches.
    4. The structure maintains clear view sight lines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
  - c. Arcades: Arcades may count up to 100% of the minimum requirement provided the following:
    1. The arcade extends no more than 2 stories in height.
    2. No portion of the arcade structure encroaches onto public property.
    3. The arcade maintains a minimum pedestrian walkway of 4 feet.
    4. The interior wall of the arcade complies with the Building Configuration standards.
  - d. Plazas and Outdoor Dining: Plazas and outdoor dining areas may count towards up to 50% of the minimum requirement provided the following:
    1. The plaza or outdoor dining is between the property line adjacent to the street and the street facing building façade.
    2. Shall be within 2 feet of grade with the public sidewalk.
    3. The building entry shall be clearly visible through the courtyard or plaza.
    4. The building facades along the courtyard or plaza shall comply with the Ground Floor Transparency requirement.
2. Alternatives to the ground floor transparency requirement: The Planning Director may modify the ground floor transparency requirement in the following instances:
  - a. The requirement would negatively impact the historical character of a building within the H Historic Preservation Overlay District; or
  - b. The requirement conflicts with the structural integrity of the building and the structure would comply with the standard to the extent possible.



- I. Landscaping: All required front yards or areas between a street facing building façade and a street shall be landscaped and maintained as landscaping. Plazas, courtyards, and other similar permitted features count towards the landscaping requirements.
  - 1. Park Strip Landscaping: Park strip landscaping shall comply with section 21A.48.060 of this Title. Outdoor dining, benches, art, and bicycle racks shall be permitted in the park strip subject to City approval.
  - 2. Landscaping in Required Yards: Where a front yard or corner side yard is provided, the yard shall be landscaped and maintained in good condition. The following standards apply:
    - a. At least 1/3 of the yard area shall be covered by vegetation, which may include trees, shrubs, grasses, annuals, perennials, or vegetable plants. Planted containers may be included to satisfy this requirement.
    - b. No vegetation shall block the clear view at any driveway or street intersection.
    - c. Asphalt as paving material located in a front yard or corner side yard is prohibited.
  - 3. Parking Lot landscaping: Surface parking lots with more than 10 parking stalls shall comply with the following requirements:
    - a. Perimeter Landscaping Buffer. A 6 foot wide perimeter landscaping buffer is required. The buffer shall be measured from the property line to the back of curb or edge of asphalt.
    - b. The landscaped buffer shall comply with Table 21A.48.070.G Required Perimeter Parking Lot Landscaping Improvements.
  - 4. Any applicable standard listed in 21A.48 Landscaping shall be complied with. Where this section conflicts with 21A.48, this section shall take precedent.
- J. Permitted Encroachments and Height Exceptions: Obstructions and height exceptions are permitted as listed in this section or in 21A.36.020.
  - 1. Canopies: Canopies covering the primary entrance or entrances to a structure may extend into the right of way provided all City processes and requirements for right of way encroachments are complied with. No commercial signs are allowed on entrance canopies.
  - 2. Building Height: In order to promote a varied skyline and other roof shapes in the area, structures with a sloped roof may exceed the maximum building in the FB-UN1 district by 5 feet and in the FB-UN2 district by 10 feet provided:
    - a. The additional height does not include additional living space. Vaulted ceilings, storage space or utility space is permitted.
    - b. The slope of the roof is a minimum of a 4-12 pitch or a quarter barrel shape.








*Minimum slope of pitched roof*





*Minimum slope of quarter barrel roof*

K. Signs:

1. Applicability: This section applies to all signs located within the FB-UN zoning district. This section is intended to list all permitted signs in the zone. All other regulations in chapter 21A.46 Signs shall apply

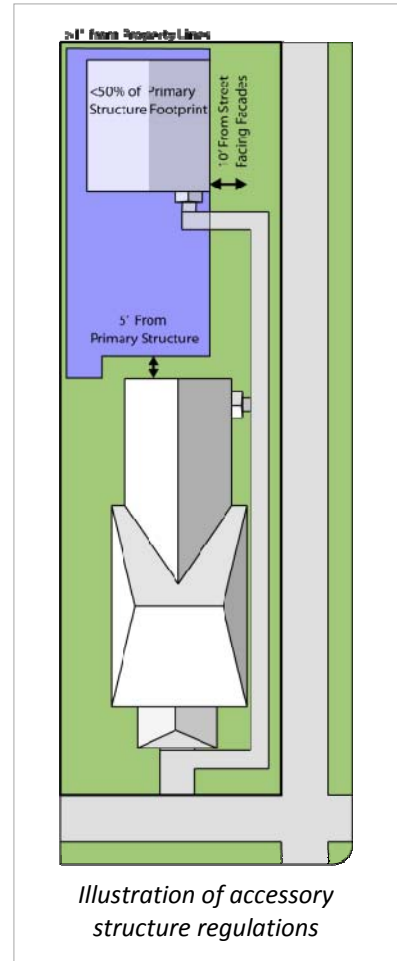
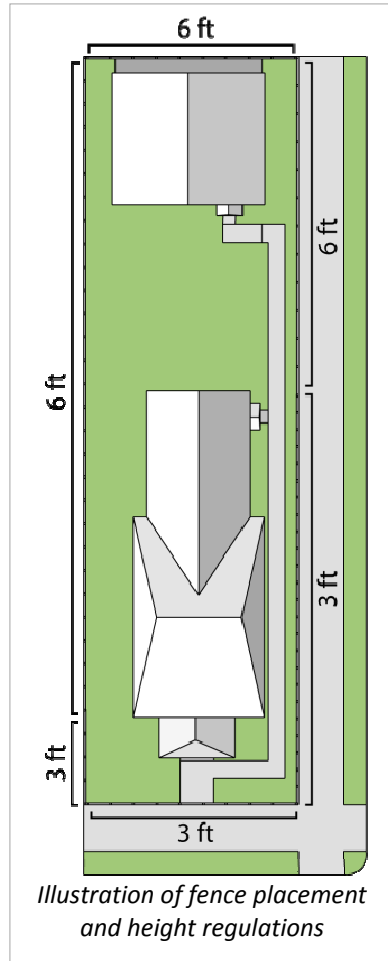
 <p>A-Frame Sign</p>	FB-UN1	FB-UN2	Specifications	
		P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
			Width	Maximum of 2 ft
 <p>Awning or Canopy Sign</p>	FB-UN1	FB-UN2	Specifications	
	P	P	Quantity	1 per window
			Width	Equal to the width of the façade
			Projection	Maximum of 4 ft from building façade
			Clearance	Minimum of 10 ft of vertical clearance
		Letters and Logos	Allowed on vertical portions of sign only	
<p>Construction Sign (see definition in 21A.46)</p>	FB-UN1	FB-UN2	Specifications	
	P	P	Quantity	1 per construction site
			Height	Maximum of 8 ft
			Area	Maximum 64 sq ft
 <p>Flat Sign</p>	FB-UN1	FB-UN2	Specifications	
		P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
			Width	Maximum of 90% of width of leasable space
			Height	Maximum of 3 ft
			Area	1.5 sq ft per linear foot of store frontage
		Projection	Maximum of 1 ft	
 <p>Nameplate sign</p>	FB-UN1	FB-UN2	Specifications	
	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
			Area	Maximum of 3 sq ft
<p>Political Sign (see definition in 21A.46)</p>	FB-UN1	FB-UN2	Specifications	
	P	P	Quantity	No limit
			Height	Maximum 6 ft
			Area	Maximum 32 sq ft
<p>Private Directional Sign (see definition in 21A.46)</p>	FB-UN1	FB-UN2	Specifications	
	P	P	Quantity	No limit
			Height	5 ft
			Area	Maximum of 8 sq ft
		May not contain business name or logo		
 <p>Projecting Sign</p>	FB-UN1	FB-UN2	Specifications	
		P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
			Clearance	Minimum of 10 ft above sidewalk/walkway
			Area	6 sq ft per side, 12 sq ft total
		Projection	Maximum of 4 ft from building facade	

Projecting Parking Entry Sign (see projecting sign graphic)	FB-UN1	FB-UN2	Specifications	
		P	Quantity	1 per parking entry
			Clearance	Minimum of 10 ft above sidewalk/walkway
			Height	Maximum of 2 ft
			Area	4 sq ft per side, 8 sq ft total
			Projection	Maximum of 4 ft from building facade
Public Safety Sign	FB-UN1	FB-UN2	Specifications	
	P	P	Quantity	No limit
			Height	Maximum of 6 ft
			Area	8 sq ft
			Projection	Maximum of 1 ft
Real Estate Sign 	FB-UN1	FB-UN2	Specifications	
	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
			Height	Maximum of 12 ft
			Area	64 sq ft
Window Sign 	FB-UN1	FB-UN2	Specifications	
		P	Quantity	1 per window
			Height	Maximum of 3 ft
			Area	Maximum of 25% of window area

L. Detached Accessory Structures:

1. Applicability: The standards in this section apply to all accessory buildings in the FB-UN zoning district.
2. General Standards:
  - a. Specifically allowed structures:
    1. Buildings: Garages, carports, sheds, garden structures, and other similar structures are permitted:
      - a. Accessory buildings are permitted in rear yards only. Buildings associated with community gardens and urban farms are permitted in the buildable area of any lot and any rear yard area.
      - b. No accessory structure shall exceed 50% of the footprint of the principal structure. Garages and carports may be built to a size necessary to cover parking spaces provided all other requirements in this chapter are complied with.
      - c. Required setbacks:
        - i. From any property line: A minimum of 1 foot.
        - ii. From the street facing plane of any principal building: A minimum of 10 feet.





2. Fences, Walls, and Retaining Walls:

a. Fences: The following regulations of fences and walls shall apply:

- i. Fences in the front yard: No fence located in a required yard may exceed 3 feet in height.
- ii. Fences in Corner side yards: No fence located in a corner side yard may exceed 3 feet in height. Fences up to 6 feet in height may be permitted if they are located between the rear property line and the building line of the rear façade of the building and located no closer to the corner side yard property line than the building facade.
- iii. Fences in side yard and rear yards: No fence shall exceed 6 feet in height. Permitted materials: fences and walls may be constructed of the following materials: wood, metal, stone or masonry. Vinyl and chain link are permitted in the side and rear yards, but prohibited in the front and corner side yard. Barbed wire is prohibited.

3. Structures Not Listed: Accessory structures not listed in this chapter may be allowed as a special exception pursuant to 21A.52.

4. District Specific Standards:

- a. Detached Dwelling Unit:
  - i. Detached accessory units may be built in a required yard as a standalone unit or attached to an accessory building, such as a garage.
  - ii. Detached Accessory Dwelling Units are only permitted with the Urban House, Two Family Dwelling and Row House building forms.
  - iii. No accessory structure containing an accessory dwelling unit shall exceed 25 feet in height.
  - iv. If a detached accessory structure is built as a second level, the minimum setback from a property line shall be a minimum of 5 feet.
  - v. All building configuration standards that apply to the primary building form shall also apply to the accessory dwelling unit, with the exceptions listed below:
    - a) The detached accessory dwelling unit shall have an entry feature that faces a public alley;
    - b) The entry feature may be a stoop that has a minimum dimension of 4 feet by 4 feet; and
    - c) The ground floor transparency requirement does not apply to accessory dwelling units located on the second floor of an accessory structure.

M. Parking Regulations:

1. Intent: The intent of parking regulations for the FB-UN zoning district is to provide necessary off street parking while limiting the amount of land dedicated to parking.
2. Minimum Parking Requirements: There are no minimum parking requirements for any use in the FB-UN zoning district.
3. Maximum Parking Requirements: The maximum parking requirements are equal to the minimum off street parking requirements found in section 21A.44.060 Number of Parking Spaces Required
4. Parking Design Standards: Other than the parking standards identified in this section, all sections of chapter 21.44 Parking shall apply.
5. Bicycle Parking: Bicycle parking shall be as follows:
  - a. Residential Uses:  $\frac{1}{4}$  of a bicycle stall for every 4 residential dwelling units.
  - b. Non-Residential Uses: 1 bicycle stall for every 500 ft<sup>2</sup> of gross floor space.
  - c. Bicycle Stall Design Standards: All bicycle parking stalls shall comply with the following standards:
    - i. Each bicycle parking space shall be sufficient to accommodate a cycle at least six (6) feet in length and two feet wide.
    - ii. Include some form of stable frame permanently anchored to a foundation to which a bicycle frame and both wheels may be secured using a locking device.
    - iii. Bicycle parking for public use shall be located within 25 feet of a primary building entrance.

- iv. Bicycle parking for public use shall be located within 25 feet of a public sidewalk so parked bicycles can be seen from either a storefront window or street.
- v. Bicycle parking shall be illuminated.
- vi. A minimum 5 feet of clear space shall be provided around the bicycle parking to allow for safe and convenient movement of bicycles.
- vii. Bicycle parking may be located inside of the principal building or an accessory structure that is legally located provided at least 5% of the required bicycle parking is located where it may be used by the public.

N. Permitted Land Uses:

1. Applicability: The table of permitted uses applies to all properties in the FB-UN zoning district:
  - a. Permitted Uses: A use that contains a P in the specific subdistrict is permitted in that subdistrict. A use that is left blank in the specific subdistrict is not permitted.
  - b. Uses not listed: Uses not listed are prohibited unless the Zoning Administrator has made an Administrative Interpretation that a proposed use is more similar to a listed permitted use than any other defined use.
  - c. A use specifically listed in any other land use table in Title 21A that is not listed in this section is prohibited.
  - d. Building Form: Uses that are included in the description of each Building Form are permitted in the subdistrict where the Building Form is permitted.

**Table 21A.27.046.N Permitted Uses**

Permitted Uses		
Use	FB-UN1	FB-UN2
Accessory use, except those that are specifically regulated in this chapter, or elsewhere in this title.	P	P
Alcohol, liquor store		P
Alcohol, microbrewery		P
Alcohol, social club		P
Alcohol, tavern or brewpub, 2,500 square ft or less in floor area		P
Animal, veterinary office		P
Antenna, communication tower		P
Art gallery		P
Bed and breakfast	P	P
Bed and breakfast inn	P	P
Bed and breakfast manor	P	P
Clinic (medical, dental)		P
Community garden	P	P
Daycare center, adult		P
Daycare center, child		P
Dwelling, assisted living facility (large)		P
Dwelling, assisted living facility (small)	P	P
Dwelling, group home (large)		P
Dwelling, group home (small) when located above or below first story office, retail,		P



or commercial use, or on the first story where the unit is not located adjacent to street frontage		
Dwelling, multi-family		P
Dwelling, residential substance abuse treatment home (large)		P
Dwelling, residential substance abuse treatment home (small)		P
Dwelling, rooming (boarding) house		P
Dwelling, single family attached (row house building only)	P	P
Dwelling, single family detached	P	P (If part of cottage development)
Dwelling, single room occupancy		P
Dwelling, transitional victim home (large)		P
Dwelling, transitional victim home (small)		P
Dwelling, Two Family	P	
Eleemosynary facility		P
Farmers' market		P
Financial institution		P
Funeral home		P
Hotel/Motel		P
House museum in landmark site	P	P
Laboratory (medical, dental, optical)		P
Library		P
Mixed use developments including residential and other uses allowed in the zoning district		P
Museum		P
Nursing care facility		P
Office		P
Office and/or reception center in landmark site		P
Open space	P	P
Park	P	P
Parking, off-site	P <sup>1</sup>	P <sup>1</sup>
Photo finishing lab		P
Place of worship		P
Plazas and squares	P	P
Recreation, commercial (indoor)		P
Recreation, community center		P
Recreation, health and fitness facility		P
Research and development facility		P
Research facility (medical/dental)		P
Restaurant		P
Retail goods establishment		P
Retail goods establishment, plant and garden shop with outdoor retail sales area		P
Retail service establishment		P
Sales and display (outdoor)		P
School, college or university		P
School, music conservatory		P
School, professional and vocational		P
School, seminary and religious institute		P
Seasonal farm stand		P
Solar array		P

Store, specialty		P
Studio, art		P
Studio, dance		P
Theater, movie		P
Urban farm	P	P
Utility, building or structure	P	P
Utility, transmission wire, line, pipe, or pole	P	P
Vending cart, private property		P
Wireless telecommunications facility (see Table 21A.40.090.E of this title)		P

Footnotes:

1. Parking, Off-Site is only permitted on parcels that contain a principal building and shall comply with the parking requirements identified in the Building Form Standards section. No principal building shall be demolished to accommodate off-site parking.

**Attachment D  
Draft Zoning Map**

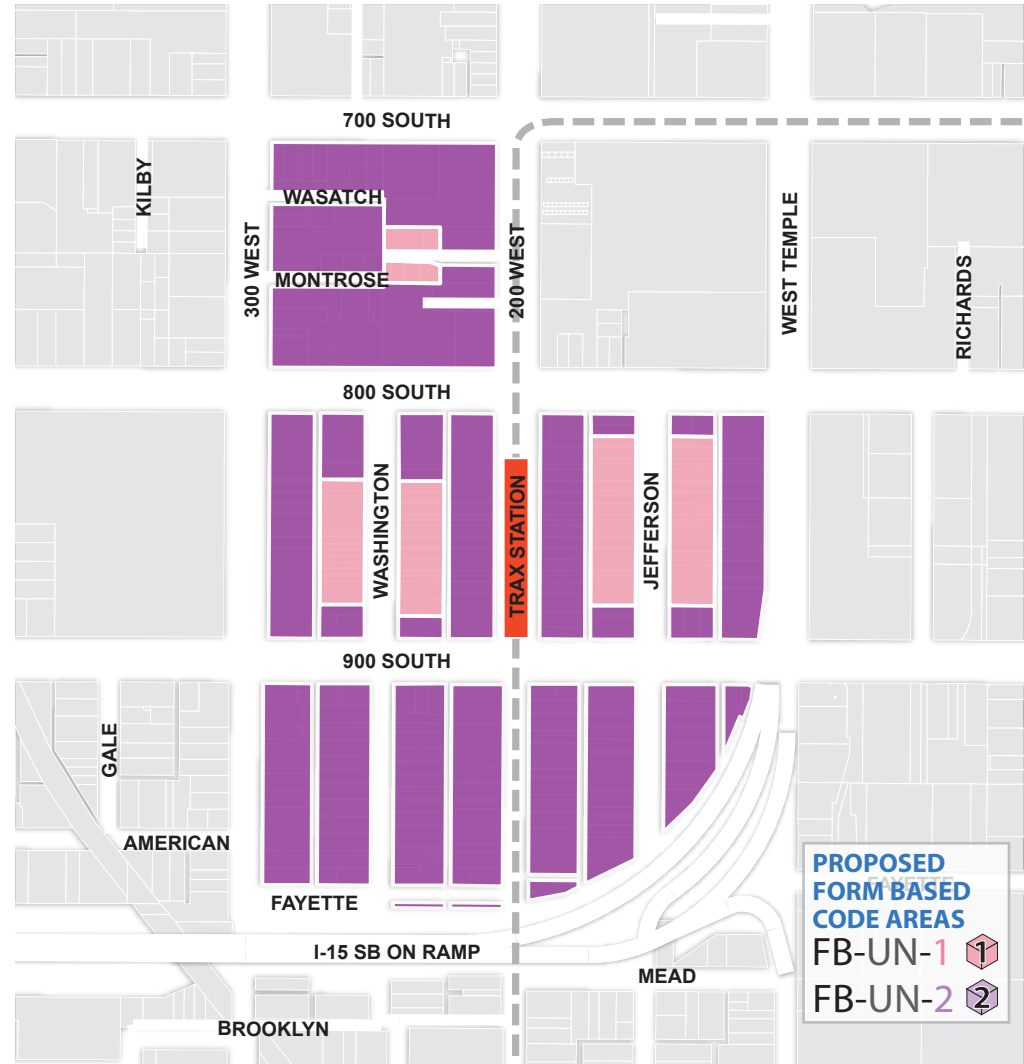
# FORM BASED CODE

## URBAN NEIGHBORHOOD

### CURRENT ZONING



### PROPOSED ZONING



**Attachment E**  
**Public Comments**



## SUMMARY OF OPEN HOUSE PUBLIC COMMENTS

### PLNPCM2011-0000640 West Temple Gateway Zoning Text and Map Amendments

June 26, June 28, July 31, and August 1, 2012

#### Public Comments:

- *Like that more appropriate heights are being proposed for Jefferson and Washington.*
- *Like graphics and photos-very helpful from a design standpoint.*
- *New zone creates a more defined framework to work within—this is better for development.*
- *Desire to have 200 West corners included in extra height allowance.*
- *Desire to have 300 West single-family homes included in the FB-UN1 District.*
- *Think 4 stories should be the maximum, even on corners.*
- *Think there should be more height near transit stop.*
- *Like that parking is behind buildings.*
- *Like the design features (balconies, façade materials, and windows) – this makes for better streetfront and higher quality building design.*
- *Code needs to clarify that heights/stories are from grade.*
- *This creates a new kind of urban, transit-oriented neighborhood.*
- *Corners should be defined so that a really long building isn't developed at 5 stories.*
- *Like new cottage development proposed.*
- *Like that vinyl and stucco are limited but okay with them in rear of house.*
- *Have questions about how this will be administered. Seems like it would make development easier—less room for interpretation*

I like the zoning! Thanks for  
listening

Paul Chilton

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Comment about 10' of ROW between  
sidewalk + private property.

Is <sup>new</sup> setback from sidewalk

or ROW?

REID JACOBSON

801-574-1386

PO BOX 9021

MIDVALE UT 84047

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New zoning options

are a good start

Chris Conroy

## Maloy, Michael

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**From:** Heather Knowlton [knowltonheather@yahoo.com]  
**Sent:** Thursday, July 19, 2012 6:41 PM  
**To:** Maloy, Michael  
**Subject:** re:West Temple Gateway Form Based Planning

Hi,

I am an owner at Angelina's Corner and got the card in the mail and hope to make the meeting...it is important to me to have a walkable neighborhood and I am very encouraged because day by day more people are out strolling with their kids or walking downtown...I myself ride my bike everywhere.

I want the car dealership here to finish landscaping the parking strip from 700 South to 800 South on 200 West. They have done so on 800 South but the other is very scruffy and needs some flowers and trees. Is that their responsibility?

Also, I think the city would be well served in making the area visually interesting with more art on the street and perhaps meridians that had landscaping. I know all this costs money - but the payback to the city will be in higher real estate taxed and business taxes as the economy improves and the area is more refined.

I love what LaFrande is doing down the block and think his vision is great!

and please!!! we do not need another Maverick, 7-11, auto shop or tattoo shop in this area! and perhaps being proactive...look at where you may need more bike racks as the area improves...

Thank you for listening!

Heather Knowlton

(downsized from a 4500 sq foot house on the Avenues and love my new simplified lifestyle!)

## Maloy, Michael

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**From:** Boudreaux, Madelyn (GE Healthcare) [Madelyn.K.Boudreaux@ge.com]  
**Sent:** Monday, July 09, 2012 9:15 AM  
**To:** Easterling, Ashlie; Maloy, Michael  
**Subject:** Form Based Code and People's Freeway / Ballpark

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

I recently attended an open house regarding the proposed form-based code for my neighborhood. I own and live in a house on 300 West, between 800 and 900 South.

I am not opposed to the form based code and I see where it can protect us from some negative types of development, but I do have some misgivings with some of the plan I saw, and some additional comments regarding our neighborhood.

First and foremost on my mind is that I am not thrilled with the FB-UN-1 section applying only to parts of Washington and Jefferson. My strip of 300 West still includes several single-family houses, 3 of them owner-occupied. I am not thrilled with the idea that development is being encouraged to add large multi-family, mixed-use, and store-front in that strip that is currently single-family homes. I'd like to see the FB-UN-1 designation extended to our section and I know that another of the owners along there would also prefer that. Right now, I understand, anything can be developed in our neighborhood, and the FB code will control some of the more egregious developments.

Next, I would like to see some kind of mixed percentages of the types of allowed developments. From my discussion at the open house, I asked, "Will you allow only a certain number or percentage of each type?" and was told no. I see this as an issue; while a mixture of different form types could create a livable and walkable neighborhood, if every developer who comes into our neighborhood decides to build the same form type, I do NOT think that will make for a better, more livable space. I am sure there are standards out there as to what kind of mixture is best, and I wouldn't presume to know the details, but I'd like to see some kind of limit on each type, particularly the multi-family, mixed use, and store fronts.

I'm uncertain about the parking requirements, or lack thereof. While I fully embrace the ideals of fewer cars in cities, I am not sure how realistic that is in a place like Utah. We simply don't have the "no need for a car" mentality that one sees in big East Coast cities. I work near the International Center, and would love to use TRAX, but even after the airport spur is added, I'll only be able to do so during summer months, as there's still a 1-mile walk or bike-ride after dark in the winter months, so my small fuel-efficient commuter car will still see plenty of use. (I'll spare you my opinions about UTA's decision to leave the International Center off the plan for TRAX, but I assure you, it doesn't endear me to them by any means.) I fear that the streets will be clogged with cars if none of these developments have parking. It may also discourage upwardly mobile middle-class people like myself from moving into the neighborhood. If you only want to encourage college students, lower income families, and a high turnover as people graduate to 1 or 2 cars per household, no parking will be fine, but if you want to bring in professionals like myself, you might find that some parking is a necessity. I embrace the ideal of a large cross-section of people, classes, and cultures, but I see a complete lack of parking as a detriment.

I am also concerned with green space, or lack thereof, and the general handling of the trees in our space. I'd love to see a pocket park or some other green space in the area, which the plan doesn't seem to include. I see zero attention given to trees or landscaping on the plan. Additionally, I'd like some assurance that we won't see a repeat of the situation with the Children's Miracle Network cutting down huge old trees that weren't even on their property, and if at all possible, an attempt to preserve the trees in our neighborhood as much as possible, even on property that is sold to be developed.

Finally, some more general concerns:

I'm not thrilled with the lack of police in the neighborhood since the fleet block was mostly cleared out. We still see a few, but not as many, and they are slow to respond. I've seen evidence of more crime than before.

We're having a LOT of issues with the foxtails, which are taking over the neighborhood. My dog regularly had major surgery from them, and recently died because of them. I'd like to work with the city/county weed coordinator to get them declared a noxious weed. The 900 South ramp hillside and almost all the empty lots are covered with them, making it very hard to control them in my yard.

Sincerely,  
Madelyn Boudreaux  
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## Comments on FB-UN1 & FB-UN2 proposed zoning

From Susan Anderson, Montrose Ave resident & property owner

Much to my surprise, my comments are overwhelmingly negative. I thought this would be an asset to the area, it is not.

General comment: I live on Montrose which is one of the three UN-1 (pink) areas on the map. Yet not one single thing in this ordinance can be applied on Montrose should someone have to rebuild or build on the one existing vacant lot . One has to ask if the writers of this ordinance have ever seen Montrose.

C.1 “generally includes....with up to four dwelling units per lot.

Where? I don't think there is one property in the pink zone with four units on one lot. I bring this up because it seems a fair amount of this ordinance is based on conditions that don't exist.

D.2.b “arrange building heights and scale to provide appropriate transitions between buildings of different heights and scale.....”

How is this enforced? Who decides what this arrangement is? Burdensome on the property developer to deal with such vague language. The city risks being accused of making capricious and arbitrary decisions without definition and enforcement of these type of requirements. I see that several places in the ordinance, things that seem like suggestions but in reality aren't.

E. Building Forms – even though it is buried in the language that the graphics shown are not prescriptive to building requirements, the fact that every single residential building is drawn with a 6:12 gable and every commercial has a flat roof (w/ no greenscape shown on the roof, which you allow for open space) is somewhat deceptive. Get graphics that mix it up if that's the intent of the ordinance.

Table FB-UN1 Building Form Standards

As it applies to Montrose

Setbacks – this says “equal to average where applicable” whereas your informational graphic states 10' front, 20' corner. Montrose houses average 3'. Define “where applicable.” Who decides that?

Minimum lot width = 30'. Mine is less than 25'.

Surface parking in side & corner yards not permitted , Parking on separate lots not permitted

On Montrose one either parks in their front/side yard driveway or in a separate lot owned by the city that we, the residents, own easements on. We are REQUIRED to park in a separate lot. These regulations in essence eliminate anyone rebuilding on Montrose from having a car. 200 West has a two hour limit (I'm sure we'll see the blue tower any day) and is so remote (and it is remote, over 300 feet from my house) to not be feasible for parking.

Pedestrian access to public walkways required.

We don't have sidewalks. Our houses are setback between 1' and 4' from the street, which has no curb & gutter. That's fine with us, but we cannot meet that requirement. The nearest public walkway is 300 feet away. Also there is fear that this requirement (as listed in the UN-2 zone also) will be used by the city to cut an access from 300 West to Montrose. That has been suggested several times, only by the city, and there is vehement objection by the residents of Montrose. In addition, with no curb & gutter and no sidewalks, SLC Transportation will not approve a pedestrian walkway.

The form standards for UN-2 also affect us. The east wall of Bulldog Sheet Metal, slated by the RDA for demolition despite our strong objections, defines Montrose Ave. What makes Montrose unique and great is the wall that gives us a sense of enclosure and separates us from 300 West. Even if we got a building to replace Bulldog, the setbacks, which are intended to protect us, ruin everything. The west end of Montrose would be wide open to 300 West. And the entire character of the street would be destroyed.

This is why no conditional use is detrimental to this area. This ordinance treats several blocks like they are identical when in fact they are not. We would like the ordinance to protect our street, not destroy it.

The Form Standards table has confusing wording regarding upper level step back. "Buildings must be stepped back one additional foot for every foot of height above 35 feet" Why is the category "Upper Level " Step Back? If my building is 50' high do I only need to step the top level back 15"? That does not reduce scale. Define "step back" and where it needs to occur.

Storefront – every building will look the same. Several buildings which are assets to the neighborhood and in this zone would not be permitted under the new regulations, Ward Engineering and Childrens' Miracle Network. They aren't storefront. CAP (the old KRCL) is a nice building, appropriate in scale and materials and would not be allowed, neither would its neighbor, Miss Billies. Is that my favorite building? Not at all. Is it an asset to the neighborhood and a contributor to architectural diversity, absolutely.

The storefront requirement is too prescriptive and will turn every development into a strip mall. I thought the ordinance was going to open up the area for good architecture; instead it had created a prescription for sameness and strip malls.

3.b. Ground floor windows of commercial buildings have to be lit and open at night. NOT IN THIS NEIGHBORHOOD. No need to let the gangbangers see everything. I can't believe this infringement on private property rights is even legal. I understand the intent, but it's wrong to tell someone they cannot have privacy. If I have a law office and I am working at night, I am required by zoning to keep my blinds open? This does not appear to be very well thought out. Is this going to be enforced? By whom?

"when ground floor glass conflicts with the internal function of the building other means shall be used....."

Who decides and enforces this? With no conditional use process it seems like it could be quite arbitrary.

G.d Plazas & outdoor dining must be between the property line and the street facing building façade.

T&G Upholstery, another great building scheduled for demolition would (as a city planner suggested to me) make a great restaurant. The glass garage doors could be opened into a courtyard for dining, much like Market Street on 1300 East, the old fire station. However the way this ordinance is written the outdoor dining could not

exist except in the front, where there is no room. Even if it's a new building, dining on 300 West is not an amenity. A courtyard on the side of a building, sheltered from the traffic, would work but doesn't seem to be allowed.

Once again, not having a conditional use or similar process will not take into consideration our existing conditions. Replacing T & G (one of the city's earliest live/work spaces) with a strip mall as prescribed by the ordinance would be a travesty.

Remember, "sustainability" everyone's favorite catch word for development, starts with sustaining what you already have.

#### L.5.a Residential requirement for bicycle parking

What exactly is ¼ space that is required if one is building one house? That needs to be defined. A single-family residence should not be required to provide bike parking. Period. (The parking regulations address UN zone in total, not just UN-2)

I would like to find out how to remove Montrose from this new zone. D-2 works much better for us. We really couldn't meet any of the requirements for building a new home. Why include an entire street in a new zone when property owners would have to go to Board of Adjustments for every single requirement listed? That's quite burdensome. And BOA is no guarantee.

With such a small area, such prescriptive architecture and no conditional use, this is a poor idea for the neighborhood. There is not enough sameness on the blocks you are zoning to treat everything exactly the same, yet there is no manner to do otherwise. Storefronts five feet from the sidewalk are hardly an improvement. At least now we have some character, between the RDA's slash & burn method of urban planning and this proposed ordinance, we will have nothing but strip malls.

Are there going to be public hearings on this? Is anyone going to respond to my comments?

Thank you

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